



## CITY OF SIOUX FALLS

### BOARD OF HISTORIC PRESERVATION

Wednesday, August 12, 2026 4:00 p.m.  
City Center, Cooper Conference Room, 110  
231 N. Dakota Avenue, Sioux Falls, SD

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Nolan Hazard, Board Chair

Nick Lanning, Residential Plans Examiner  
Sydney DeSprenger, Urban Planner  
Diane deKoeyer, Neighborhood & Preservation Planner

### MEETING AGENDA

- |                                                  |       |
|--------------------------------------------------|-------|
| <b>1. Call to Order and Quorum Determination</b> | Nolan |
| <b>2. Welcome and Introductions</b>              | Nolan |
| <b>3. Approval of Regular Agenda</b>             | Nolan |
| <b>4. Approval of July Meeting Minutes</b>       | Nolan |
| <b>5. Public Input</b>                           | Nolan |

Public input will be received at this time for any items appearing on the agenda and for any other items not appearing on the agenda. Please be advised that this will be the only time public input will be received during this meeting. Each speaker will have a time limit of five (5) minutes and the total amount of time devoted to public input shall not exceed fifteen (15) minutes.

- |                                                                                      |                                                   |
|--------------------------------------------------------------------------------------|---------------------------------------------------|
| <b>6. New Business</b>                                                               |                                                   |
| a. 227 N, Duluth Avenue, Cathedral Historic District<br>Home renovation and addition | Alan Devoe, Homeowner<br>Lauren Denney, 4D Design |
| b. Community Development Foundation Update                                           | Mike Gray, Dir. of Business Dev.                  |
| <b>7. Unfinished Business</b>                                                        |                                                   |
| a. Vote for new Board Chair and Vice Chair                                           | Diane                                             |
| b. Next board meeting is scheduled for September 9, 2026                             | Diane                                             |
| <b>8. Adjournment</b>                                                                |                                                   |

*Promoting the use and conservation of historic properties for the education, inspiration,  
pleasure, and enrichment of the citizens of Sioux Falls*

**Regular Meeting Minutes for July 8, 2026  
City Center, Cooper Conference Room, 110**

**Members Present:**

Nolan Hazard, Chair  
Adam Nyhaug  
Levi Pfeil  
Luke Urlacher  
Gail Fossum Shea, Vice Chair  
Delia Druley  
Mark Thomas  
Mason O'Farrell

**Members Absent**

Karen McGrath

**Public in Attendance:**

Steve Mogul, Homeowner

**Staff Present:**

Nick Lanning  
Sydney DePrenger  
Diane deKoeyer

**ITEM 1. Call to Order and Quorum Determination**

- a. Board Chair Nolan Hazard called the meeting to order at 4:00 p.m.

**ITEM 2. Welcome and Introductions**

- a. Board Chair Nolan Hazard welcomed board members and guests.

**ITEM 3. Approval of Regular Agenda**

- a. Member Pfeil made a motion to approve the regular agenda, and Member Druley seconded the motion. The motion passed unanimously.

**ITEM 4. Approval of May 13, 2026, Meeting Minutes**

- a. Member Urlacher noted that the names listed for Members Absent and the Public in Attendance were switched in the minutes. Member Fossum Shea seconded the motion to approve the minutes with the corrections. The motion passed unanimously.

**ITEM 5. Public Input on Non-Agenda Items (five-minute period)**

- a. None

**ITEM 6. New Business**

- a. 350 N. Duluth Avenue, Cathedral Historic District  
The project description in the staff report was incorrect. The proposed project summary is noted below.

The existing screened in porch was added onto the home in the 80s. Plywood panels and basic windows were installed. The homeowner proposed to demolish and reframe all exterior walls and provide new windows to a uniform, matching size. A new window was proposed for the east façade where a previous one did not exist. The east façade is not visible from the street. The west facing door will be reframed with a proposed round top. Hardi shake siding is proposed with new wall insulation where none previously existed.

On review of the project by the board, the following items were determined and included in the motion to approve:

- 
- New windowsill height will be consistent on the sunroom.
- The existing parapet and crown molding will remain. No scallop trim will be installed below the crown molding. The scallops are inconsistent with the Richardsonian Romanesque style of the original home.
- The new roof will be located to the underside of the second-floor windows with the proper slope for drainage.
- Shakes will replace the existing shakes and plywood siding below the windows.
- The homeowner indicated that either wood, aluminum wood framed or a composite window would be used, but no vinyl. Window specs are required for submittal for a building permit.

Member Urlacher made the motion to approve the material replacement of the sunroom and that it would not have an adverse effect on the historic property and district. Member Fossum-Shea seconded the motion and the motion passed unanimously.

#### **ITEM 7. Unfinished Business**

- a. Adam Nyhaug and Gail Fossum Shea were recognized for their six years of service to the Board of Historic Preservation.

#### **ITEM 8. Adjournment**

- a. The Board of Historic Preservation meeting adjourned at 4:47 pm.

## **Secretary of Interior Standards for Historic Properties – New Construction**

**24:52:07:04. Standards for new construction and additions in historic districts.** New construction or additions within a historic district must comply with **The Secretary of the Interior's Standards for the Treatment of Historic Properties** as incorporated by reference in § 24:52:07:02. In addition the following standards apply:

- (1) Compatibility of design. Massing, size, and scale of new construction must be compatible with surrounding historic buildings. Overall architectural features of new construction must be of contemporary design which does not directly mimic historic buildings. Architectural elements such as windows, doors, and cornices must be similar in rhythm, pattern, and scale to comparable elements in adjacent historic buildings. The overall visual appearance of new construction may not dominate or be distracting to the surrounding historic landscape;
- (2) Height. The height of new buildings or additions to existing buildings may not exceed a standard variance of ten percent of the average height of historic buildings on both sides of the street where proposed new construction is to be located;
- (3) Width. The width of new buildings or additions to existing buildings must be similar to adjacent historic buildings;
- (4) Proportion. The relationship between the height and width of new buildings or additions to existing buildings must be similar in proportion to existing historic buildings. The proportion of openings in the facades of new construction or additions must be compatible with similar openings in adjacent historic buildings;
- (5) Rhythm and scale. The rhythm, placement, and scale of openings, prominent vertical and horizontal members, and separation of buildings which are present in adjacent historic buildings must be incorporated into the design of new buildings or additions to existing buildings;
- (6) Materials. Materials which make up new buildings or additions to existing buildings must complement materials present in nearby historic properties. New materials must be of similar color, texture, reflective qualities, and scale as historical materials present in the historic district;
- (7) Color. The colors of materials, trim, ornament, and details used in new construction must be similar to those colors on existing historic buildings or must match colors used in previous historical periods for identical features within the historic district;
- (8) Details and ornament. The details and ornament on new buildings or additions to existing buildings must be of contemporary design that is complementary to those features of similar physical or decorative function on adjacent historic buildings;
- (9) Roof shape and skyline. The roof shape and skyline of new construction must be similar to that of existing historic buildings;
- (10) Setting. The relationship of new buildings or additions to existing buildings must maintain the traditional placement of historic buildings in relation to streets, sidewalks, natural topography, and lot lines; and
- (11) Landscaping and ground cover. Retaining walls, fences, plants, and other landscaping elements that are part of new construction may not introduce elements which are out of character with the setting of the historic district.

**Source:** 16 SDR 239, effective July 9, 1990; 21 SDR 50, effective September 21, 1994; 24 SDR 73, effective December 4, 1997; 28 SDR 182, effective July 10, 2002.

**General Authority:** SDCL 1-19A-5, 1-19A-11, 1-19A-29.

**Law Implemented:** SDCL 1-19A-5, 1-19A-11.1.

## Secretary of the Interior's Standards for Rehabilitation

*The Standards for Rehabilitation, a section of the Secretary's Standards for Historic Preservation Projects, address the most prevalent preservation treatment today, rehabilitation. Rehabilitation is defined as the process of returning a property to state of utility, through repair or alteration which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural and cultural values.*

The Standards that follow were originally published in 1977 and revised in 1990 as part of the Department of the Interior regulations (36 CFR Part 67, Historic Preservation Certifications). They pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent or related new construction.

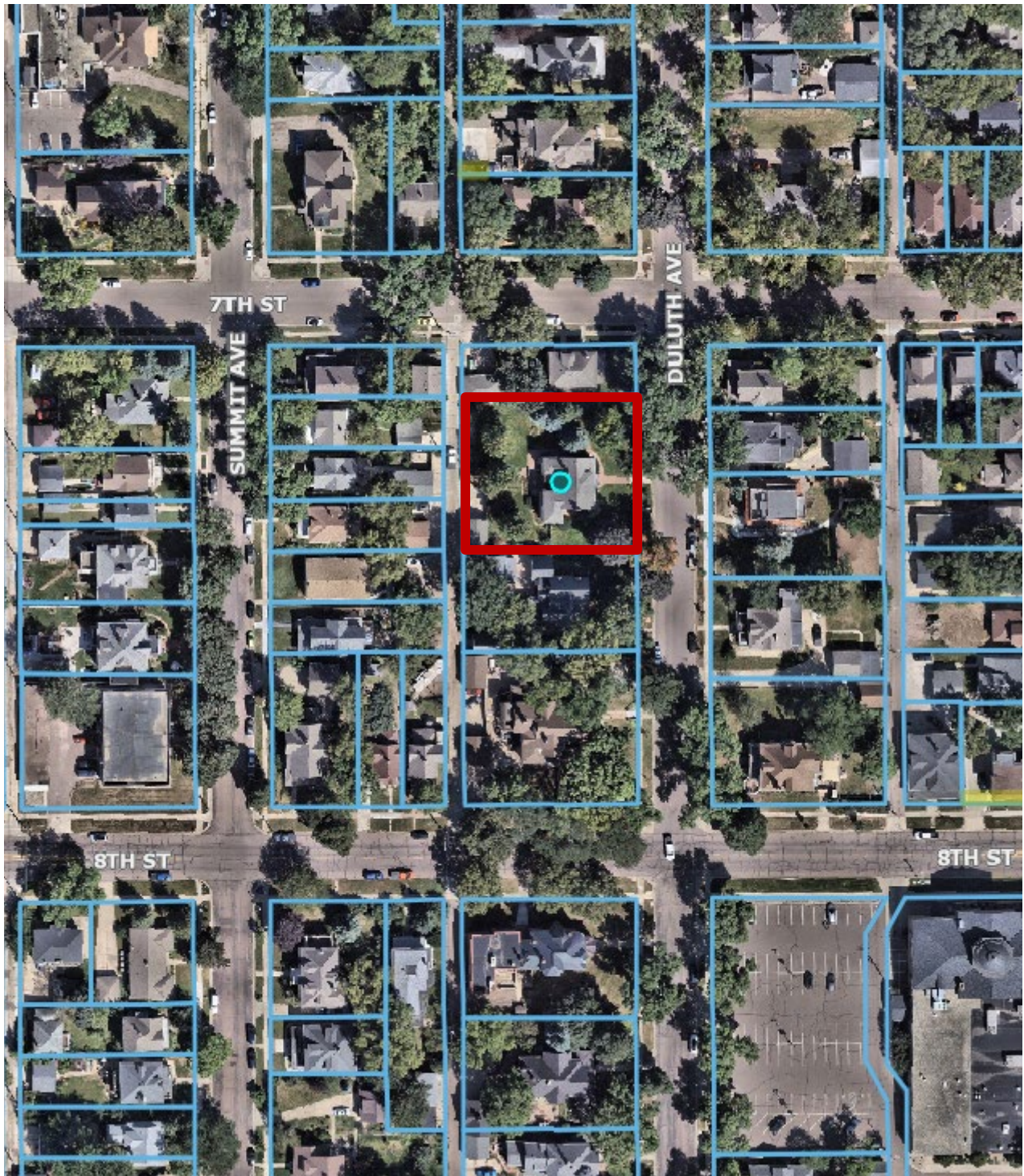
The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historic development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- (8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**SIOUX FALLS BOARD OF HISTORIC PRESERVATION**

|                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Project Review         | August 12, 2026                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Property Address       | 227 N. Duluth Avenue                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Property Owner         | Alan and Kim Devoe                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Historic District      | Cathedral                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Year Built             | 1913                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| Project Description    | Entire house renovation with kitchen and sunroom addition and new three stall garage at alley (not seen from the street). Existing one stall garage will also be renovated (not seen from the street).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| National Register      | Colonial revival with slight Prairie influence, Wide eaves, dentils at cornice line, coursed wood shingles. One-story portico with flat roof, dentils at cornice line, ionic columns as porch supports, modern iron railings. Front door has an elliptical fanlight and sidelights set within decorative wood frame, pilasters on either side. On either side of the door is a trio of 6:1 windows set in a wood frame and dentiled entablature. Small bay window (6:6 and two 4:4) at center of second floor, two 6:6 on either side of bay. Wide hipped dormer at attic level has four 1:1 windows. Exterior chimney on south elevation. Two-story addition at SW corner of house has corner boards, hipped roof, dentils at cornice line and casement windows. |
| Project Representative | Alan and Kim Devoe, Homeowners<br>Lauren Denney, 4D Design + Consulting                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| Neighbor Notification  | Yes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Staff Recommendation   | The proposed project should not have an adverse effect on the Cathedral Historic District.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| Board Action           | Required                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Photos                 | *Historic photos provided by the Siouxland Heritage Museums                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

**CATHEDRAL HISTORIC DISTRICT**  
227 N. Duluth Avenue



Historic Photo



Historic Photo





227 N. Duluth Ave.



EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION



EXISTING FRONT ELEVATION



EXISTING RIGHT FRONT ELEVATION



EXISTING RIGHT REAR ELEVATION



MATCH EXISTING  
BOINED SHAKE BASE



WINDOW TRIM DETAIL TO MATCH



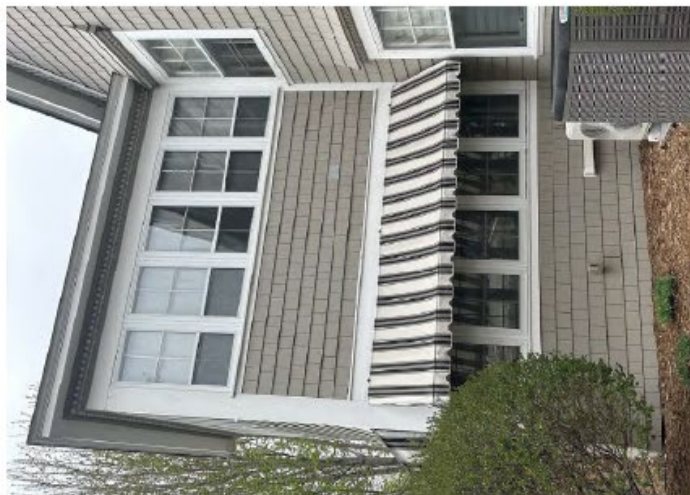
MATCH EXISTING  
WINDOW DETAILS



MATCH ATTIC WINDOWS  
AND ALL DETAILS



MATCH ALL EXISTING  
FRONT STOOP & DOOR DETAILS  
VERIFY MATERIAL STAINED CONCRETE OR QUARTZ



MATCH EXISTING SUNROOM STRUCTURE  
NO EXISTING QUARTZ FOUNDATION



295 N DULUTH AVE. - NORTHERN NEIGHBOR



295 N DULUTH AVE. - NORTHERN NEIGHBOR



215 N DULUTH AVE. - SOUTHERN NEIGHBOR



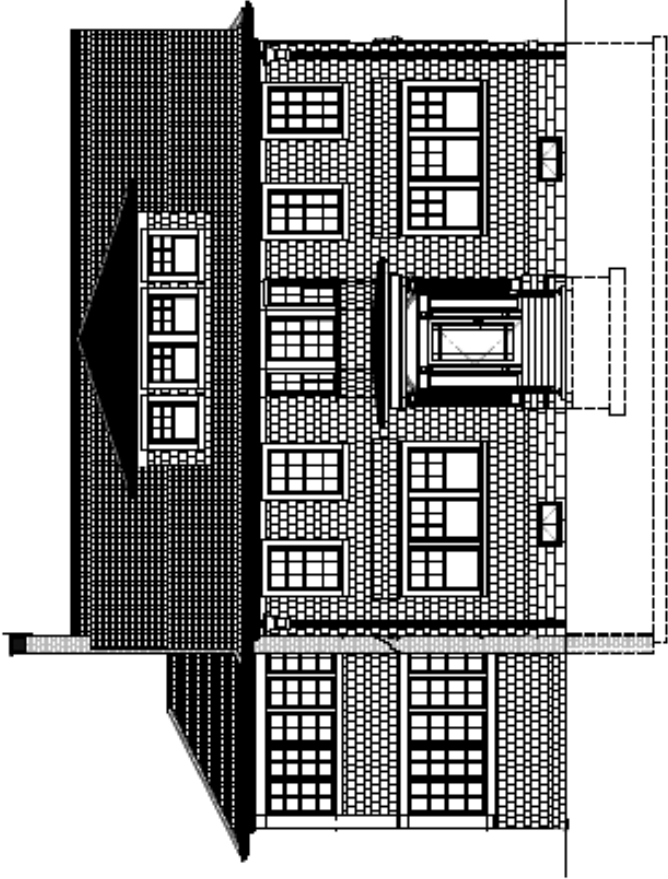
49 PIC 215 N DULUTH AVE. - SOUTHERN NEIGHBOR

8

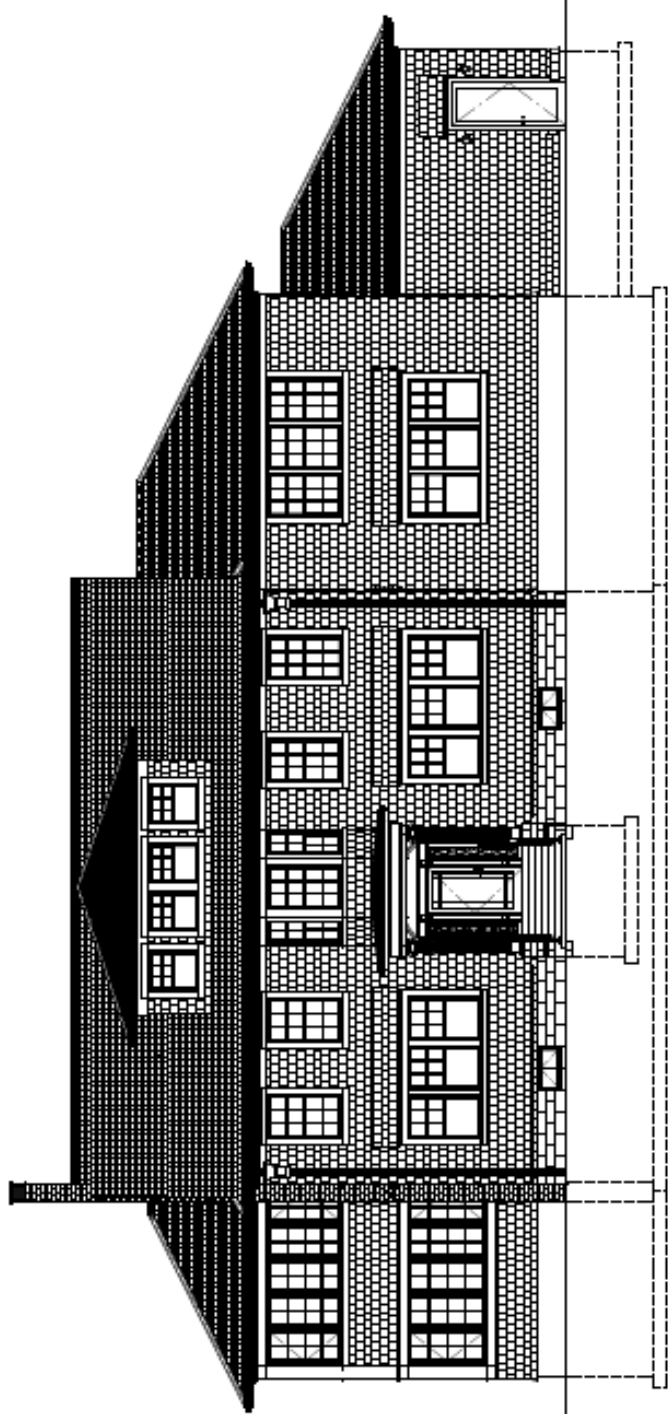
Areas in red indicate an addition





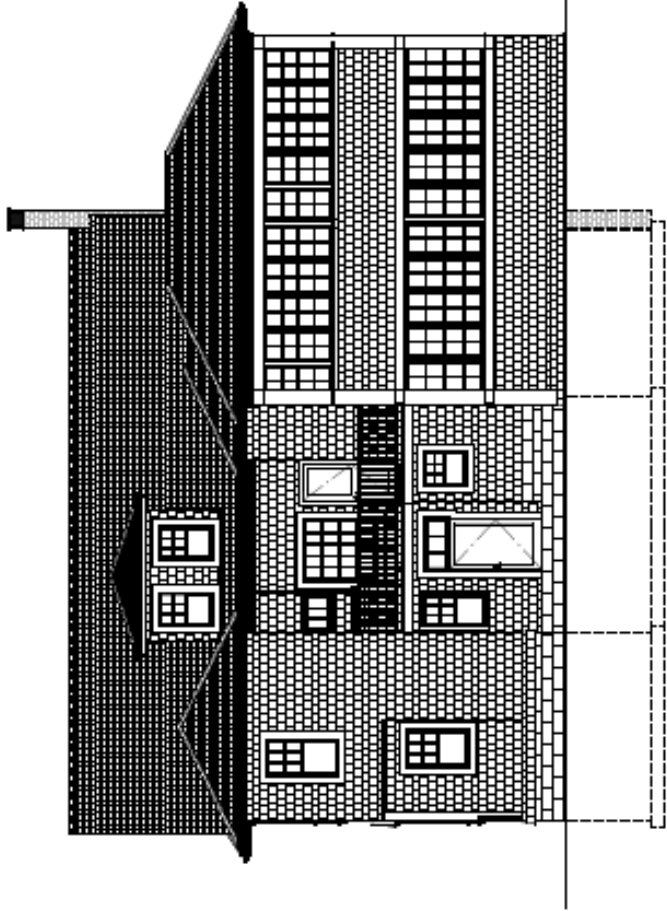


① EXISTING FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

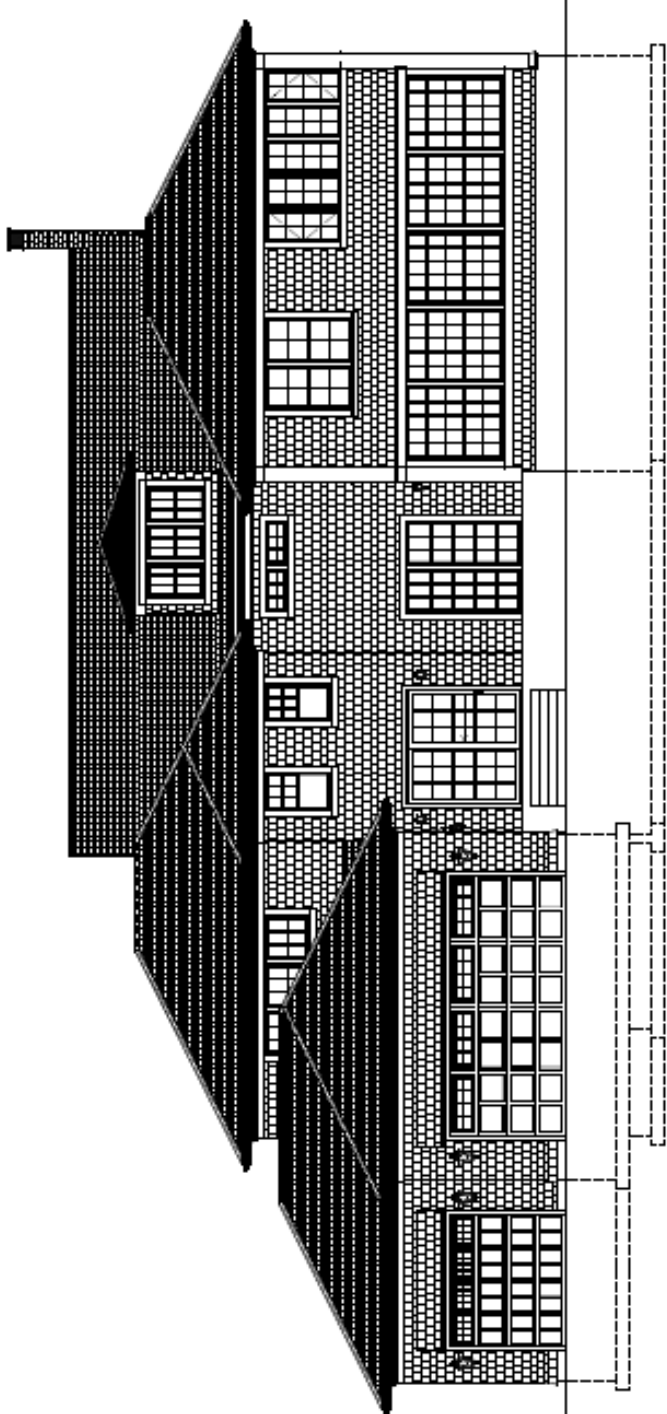


② PROPOSED FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

SUBMITTAL: PRESERVATION REVIEW  
MATCH ALL TO ALL NEW & EXISTING PAINTS AND DETAILS  
SEE EXISTING PHOTOS ON SHEET E-3  
AND FRONT ELEVATION FOR ADDITIONAL INFO

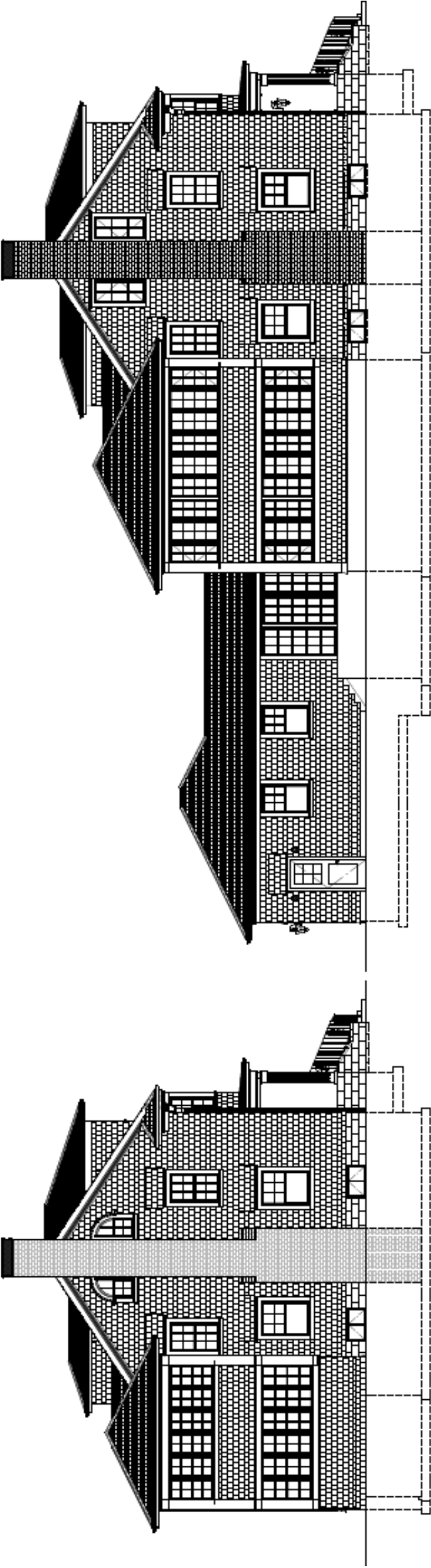


③ EXISTING REAR ELEVATION  
SCALE: 1/8" = 1'-0"

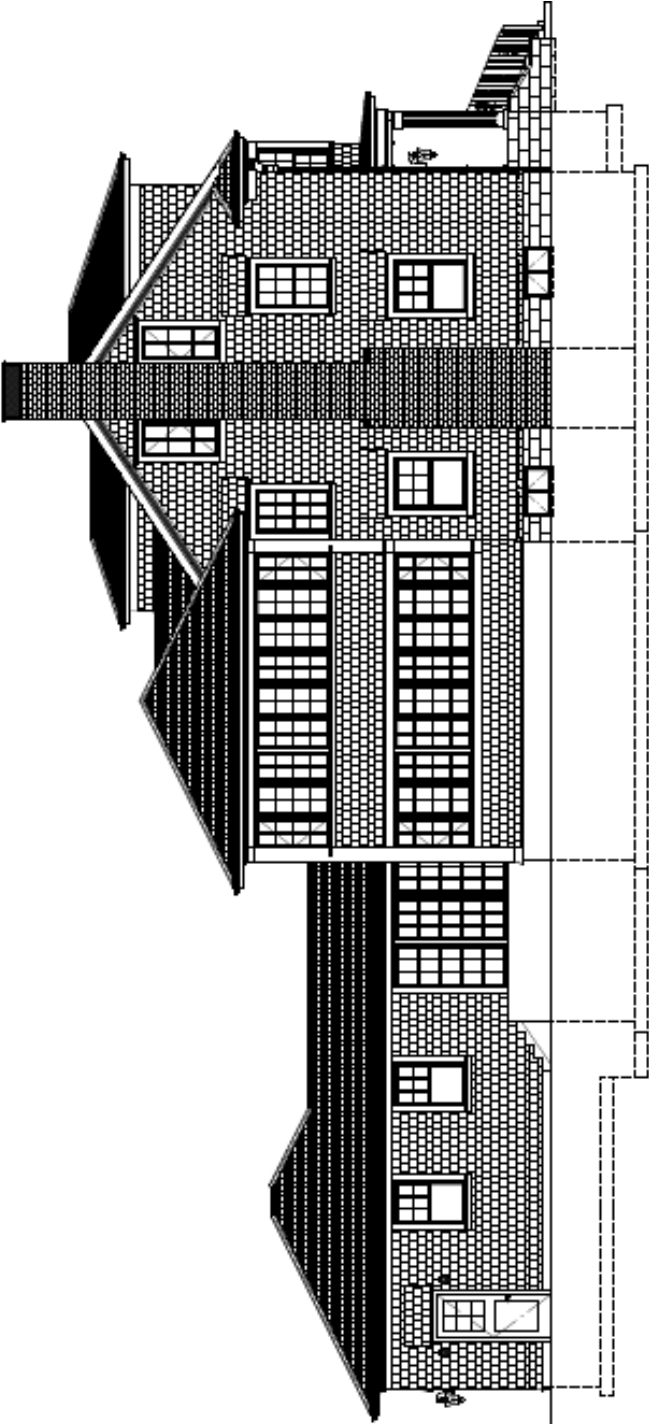


④ PROPOSED REAR ELEVATION  
SCALE: 1/8" = 1'-0"

SUBMITTAL: PRESERVATION REVIEW  
MATCH ALL TO ALL NEW & EXISTING PAINTS AND DETAILS  
SEE EXISTING PHOTOS ON SHEET E-3  
AND FRONT ELEVATION FOR ADDITIONAL INFO

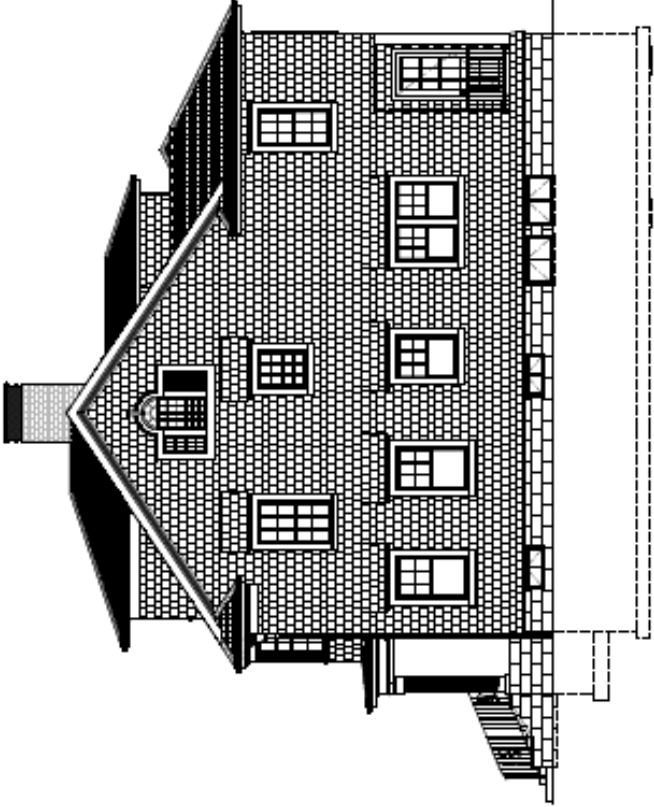


EXISTING FRONT ELEVATION  
SCALE 1/8" = 1'-0"

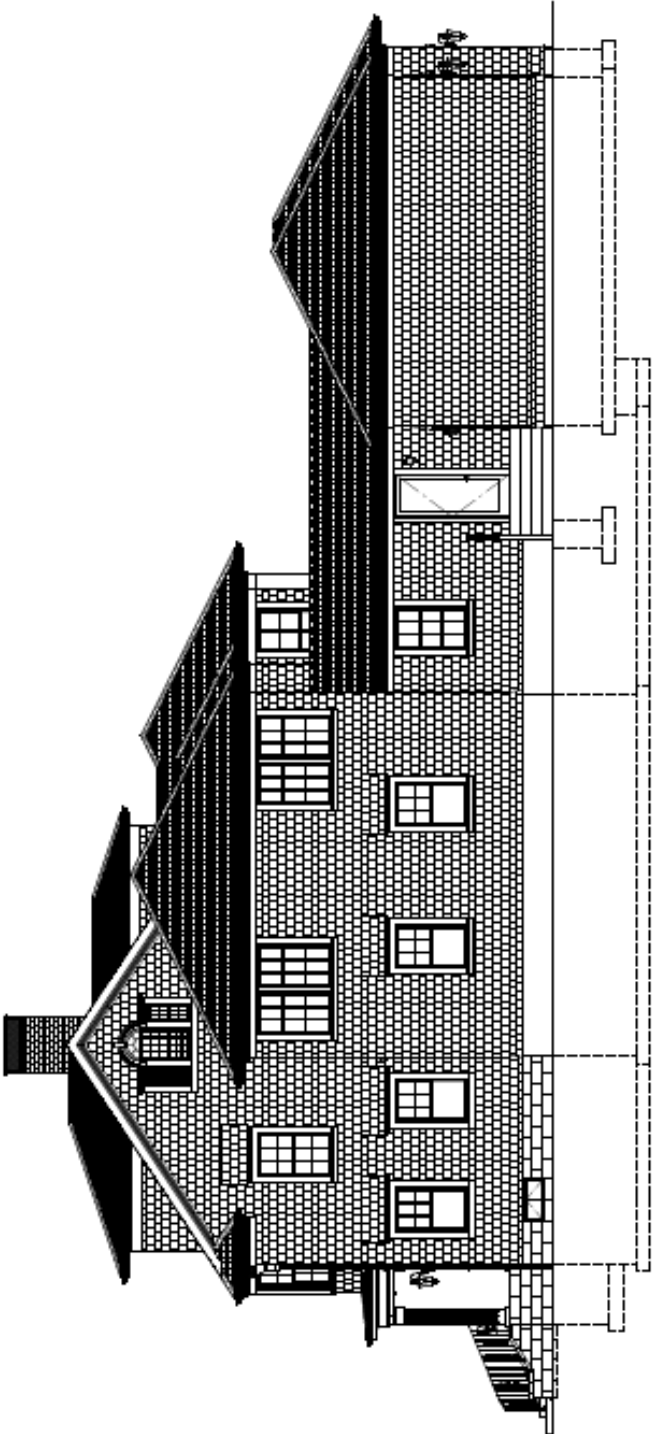


PROPOSED FRONT ELEVATION  
SCALE 1/8" = 1'-0"

HISTORICAL PRESERVATION REVIEW  
MATCH ALL EXISTING FRONT CLADDING AND DETAILS  
TO ALL NEW & EXISTING FACADES.  
SEE EXISTING PHOTOS ON SHEET 2.3  
AND FRONT ELEVATION FOR ADDITIONAL INFO.

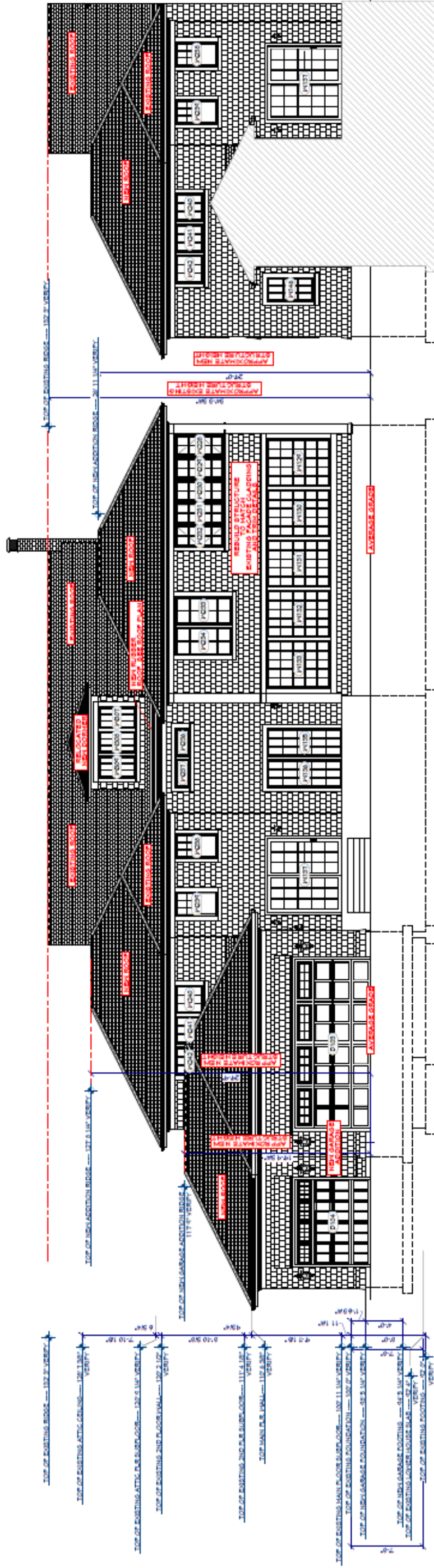
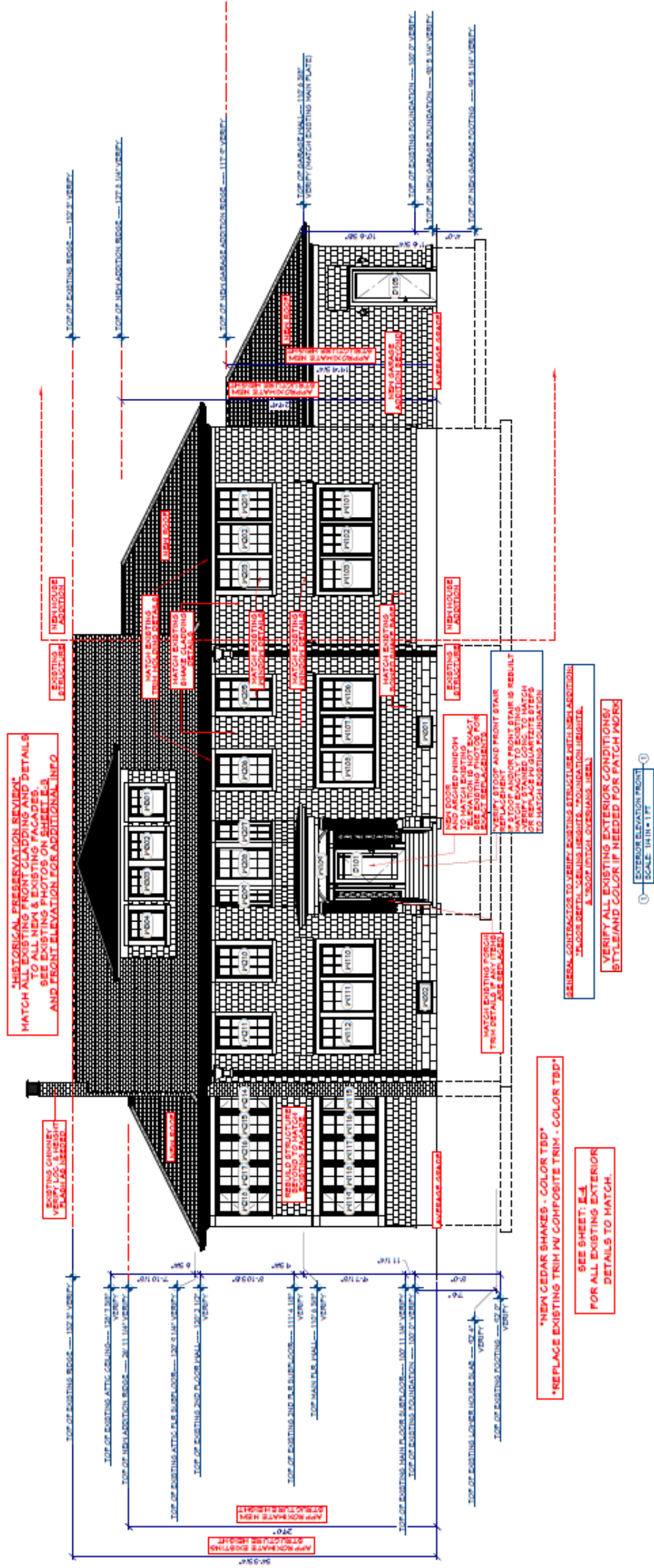


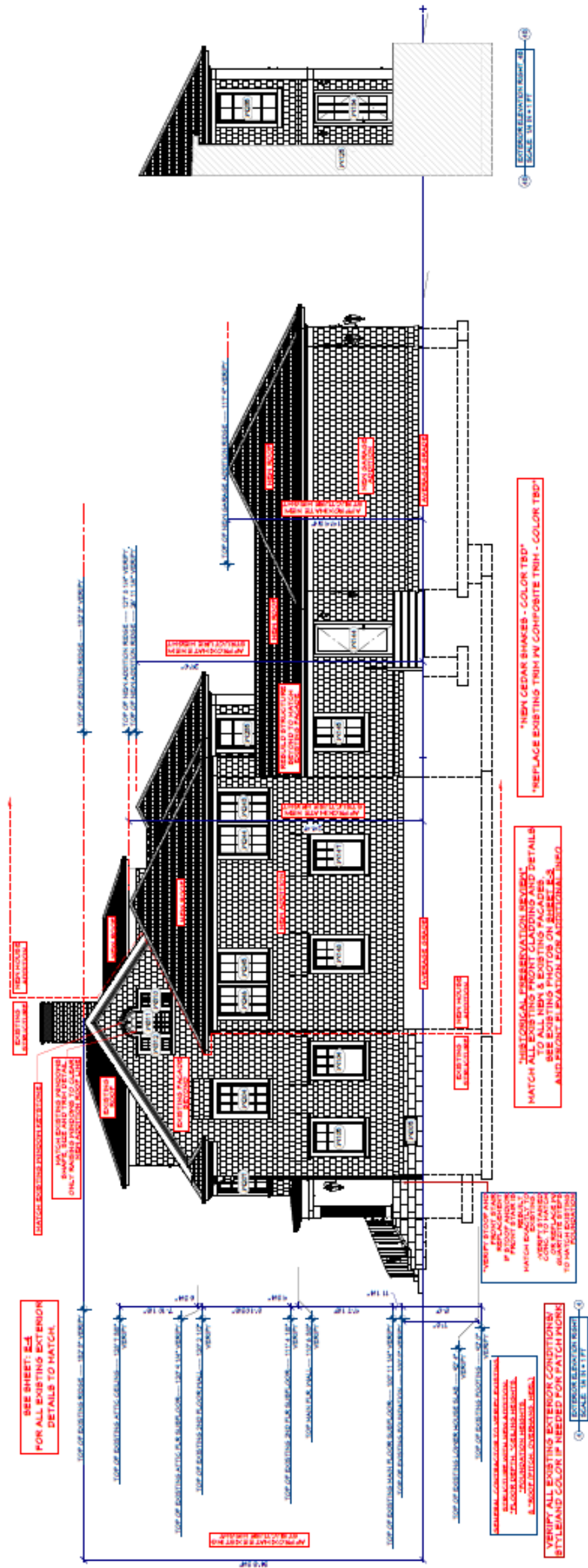
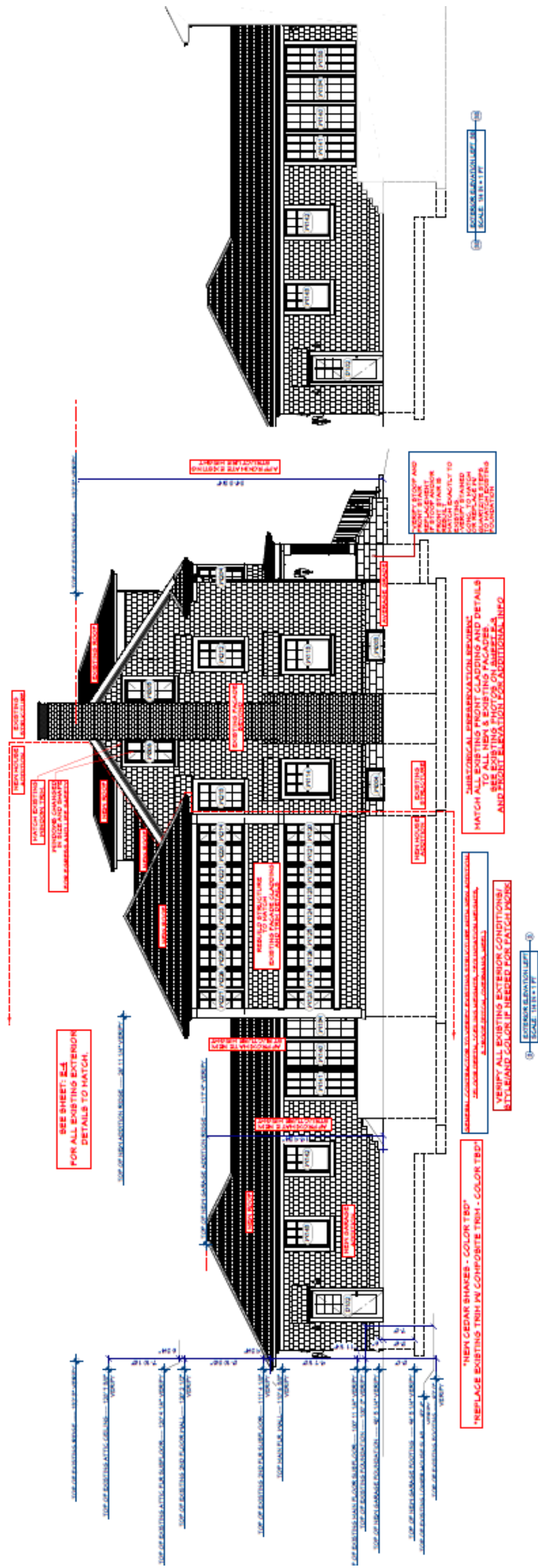
EXISTING RIGHT ELEVATION  
SCALE 1/8" = 1'-0"

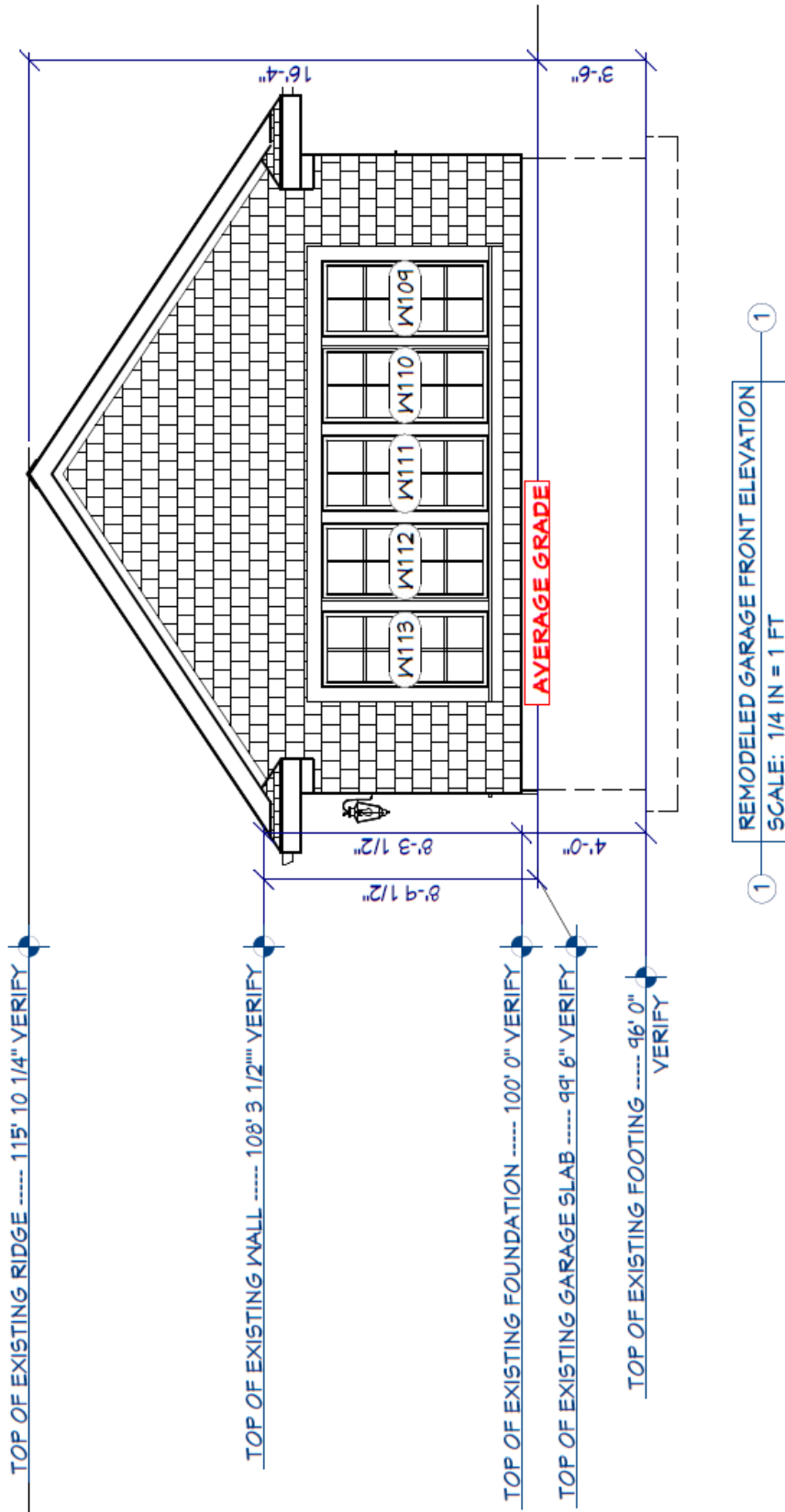


PROPOSED RIGHT ELEVATION  
SCALE 1/8" = 1'-0"

HISTORICAL PRESERVATION REVIEW  
MATCH ALL EXISTING FRONT CLADDING AND DETAILS  
TO ALL NEW & EXISTING FACADES.  
SEE EXISTING PHOTOS ON SHEET 2.3  
AND FRONT ELEVATION FOR ADDITIONAL INFO.





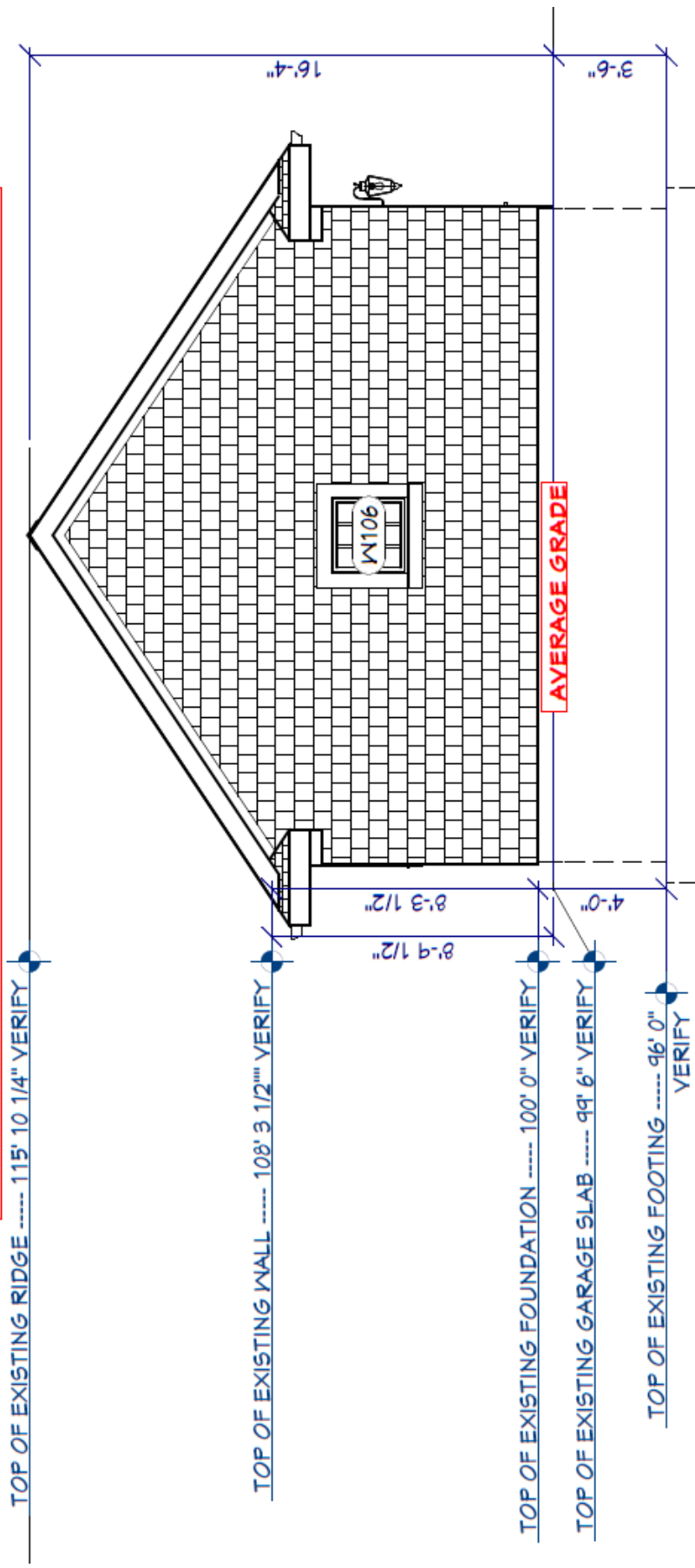


VERIFY ALL EXISTING EXTERIOR CONDITIONS/  
STYLE/AND COLOR IF NEEDED FOR PATCH WORK

- NEW CEDAR SHAKES - COLOR TBD•
- REPLACE EXISTING TRIM W/ COMPOSITE TRIM - COLOR TBD•
- MATCH EXISTING TRIM DETAILS•

VERIFY ALL EXISTING EXTERIOR CONDITIONS/  
STYLE/AND COLOR IF NEEDED FOR PATCH WORK

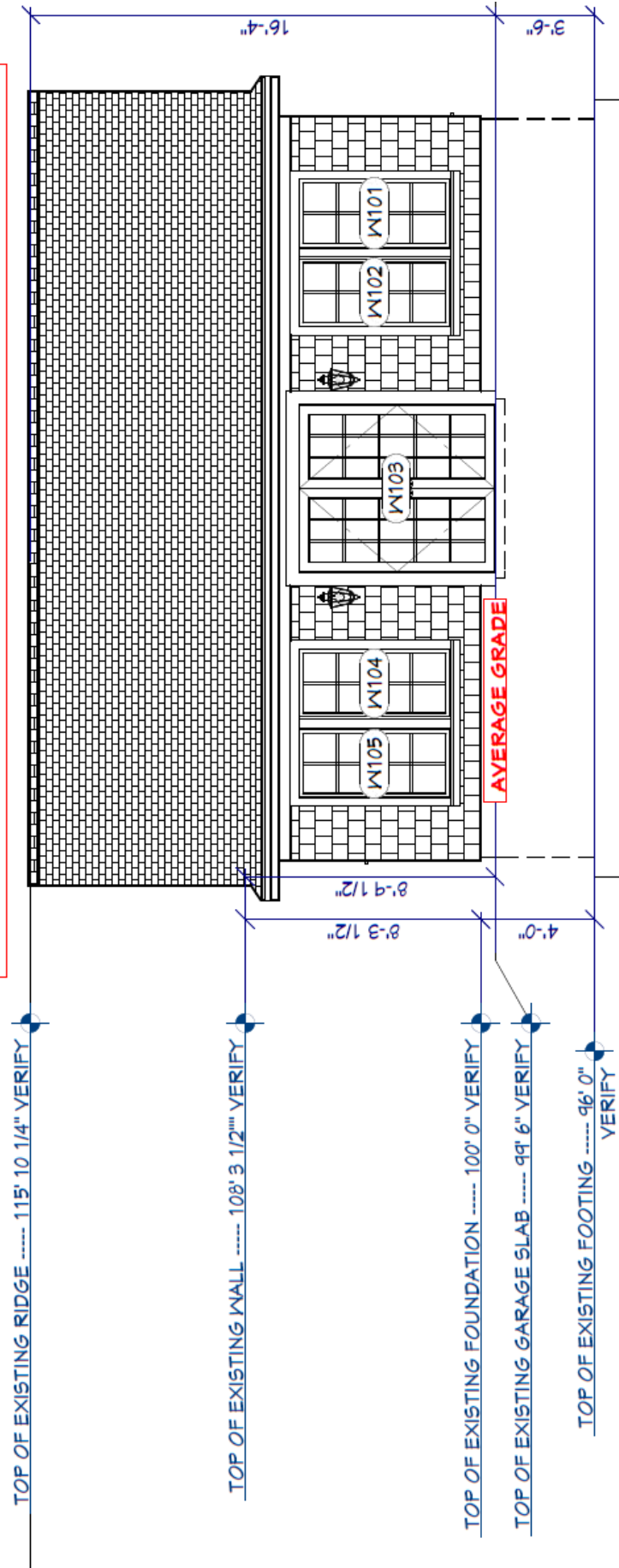
- NEW CEDAR SHAKES - COLOR TBD•
- REPLACE EXISTING TRIM W/ COMPOSITE TRIM - COLOR TBD•
- MATCH EXISTING TRIM DETAILS•



2 REMODELED GARAGE REAR ELEVATION  
SCALE: 1/4 IN = 1 FT 2

VERIFY ALL EXISTING EXTERIOR CONDITIONS/  
STYLE/AND COLOR IF NEEDED FOR PATCH WORK

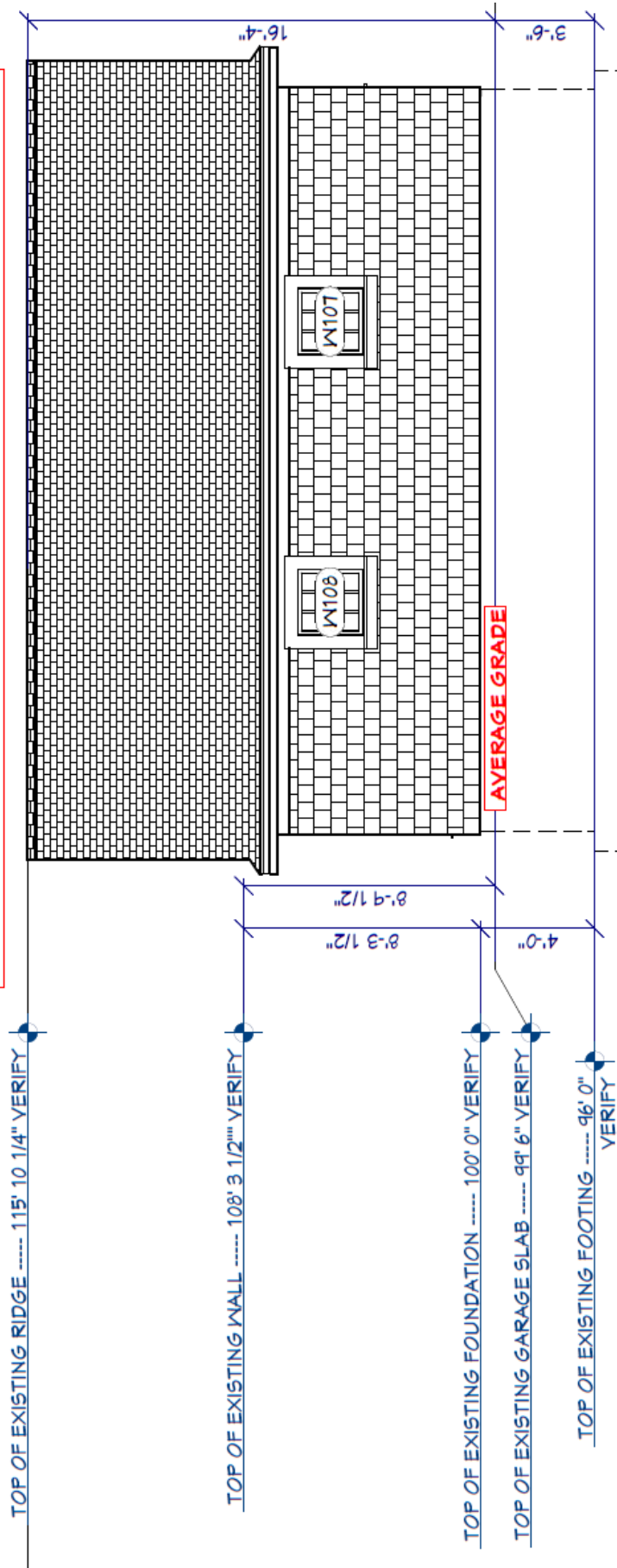
- \*NEW CEDAR SHAKES - COLOR TBD\*
- \*REPLACE EXISTING TRIM W/ COMPOSITE TRIM - COLOR TBD\*
- \*MATCH EXISTING TRIM DETAILS\*



③ REMODELED GARAGE LEFT ELEVATION  
SCALE: 1/4 IN = 1 FT

VERIFY ALL EXISTING EXTERIOR CONDITIONS/  
STYLE/AND COLOR IF NEEDED FOR PATCH WORK

- NEW CEDAR SHAKES - COLOR TBD•
- REPLACE EXISTING TRIM W/ COMPOSITE TRIM - COLOR TBD•
- MATCH EXISTING TRIM DETAILS•



4 REMODELED GARAGE RIGHT ELEVATION  
SCALE: 1/4" IN = 1 FT 4